

FIRST AMENDMENT AND RESTATEMENT OF NEIGHBORHOOD DESIGN REVIEW STANDARDS FOR SPINDLETOP AT STONEHILL VILLAGE

Nutter Enterprises, Ltd., an Ohio limited liability company ("Developer") adopts this First Amendment and Restatement of the Neighborhood Design Review Standards for Spindletop at Stonehill Village (the "Neighborhood DRS") effective as of August 1, 2020.

1. **Background.** Developer adopted the original Neighborhood DRS on April 6, 1999. Section 3.04 of the original Neighborhood DRS, or Section 3.03 as amended herein, permits the Developer to amend the Neighborhood DRS unilaterally during the Development Period without any notice to, or consent, approval or signature of, the Association, Board, DRB, Neighborhood Council, Owner, Qualified Mortgagee or any other Person, as those capitalized terms are defined in the Master Declaration of Covenants, Conditions and Restrictions for Stonehill Village. Developer now intends to exercise that right of unilateral amendment for the purposes and to the extent described in this First Amendment and Restatement.

2. **Purpose of Amendment and Restatement.** Since the adoption of the Neighborhood DRS, the Neighborhood has grown substantially, technology has improved, and design considerations have evolved. In light of these changes, and in an effort to modernize, simplify and clarify the Neighborhood DRS, Developer now desires to amend and restate the Neighborhood DRS.

3. **Restatement.** Developer now amends the Neighborhood DRS by completely deleting all provisions of the Neighborhood DRS, and amending and restating the Neighborhood DRS in its entirety, as set forth in Exhibit A to this Amendment.

4. **Ratification.** Except as specifically modified herein, the Neighborhood Design Review Standards for Spindletop at Stonehill Village remain in full force and effect. The Developer ratifies and confirms the Neighborhood Design Review Standards for Spindletop at Stonehill Village, as amended and restated.

The Developer adopted this Amendment and Restatement of Neighborhood Design Review Standards for Spindletop at Stonehill Village as of the date written above.

DEVELOPER:

NUTTER ENTERPRISES, LTD.,
An Ohio Limited Liability Company

By: _____

Robert W. Nutter, Trustee, Member

By: _____

Mary C. Nutter, Trustee, Member

RESTATED
NEIGHBORHOOD
DESIGN REVIEW STANDARDS
FOR
SPINDLETOP AT
STONEHILL VILLAGE

A Nutter Enterprises, Ltd. Development

Located At

BEAVERCREEK TOWNSHIP, GREENE COUNTY, OHIO

This Document Prepared By

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NUTTER ENTERPRISES, Ltd.

1000 Hilltop Road
Xenia, Ohio 45385

Table of Contents

Neighborhood Design Review Standards

Article One	Overview	1
Section 1.01	Purpose of Design Review Standards	1
Section 1.02	Relationship to Community Design Review Standards.....	1
Section 1.03	Relationship to Other Governing Documents.....	1
Section 1.04	Interpretation.....	1
 Article Two	 Adoption and Administration.....	 2
Section 2.01	Adoption of Neighborhood Design Review Standards.....	2
Section 2.02	Administration of Neighborhood Design Review Standards.....	2
Section 2.03	Applicable Law	2
 Article Three	 General Terms and Conditions	 2
Section 3.01	Binding Effect.....	2
Section 3.02	Constructive Notice and Acceptance	3
Section 3.03	Amendment.....	3
Section 3.04	Prior Non-Conforming Improvements.....	3
Section 3.05	Partial Invalidity.....	3
Section 3.06	Governing Law	3
 Attachment 1	 Standards, Specifications & Requirements	 i

Neighborhood Design Review Standards For Spindletop at Stonehill Village

The following Neighborhood Design Review Standards are adopted pursuant to Part Four of the Master Declaration of Covenants, Conditions and Restrictions for Stonehill Village.

Article One Overview

Section 1.01 Purpose of Design Review Standards

The purpose of these Neighborhood Design Review Standards (the “Neighborhood DRS”) is to establish the particular standards, specifications and requirements that will give the Spindletop at Stonehill Village Neighborhood its unique character and appeal. These Neighborhood DRS provide specific requirements and restrictions that apply to all Improvements in this Neighborhood.

Section 1.02 Relationship to Community Design Review Standards

These Neighborhood DRS supplement the Community Design Review Standards for the Stonehill Village Community (the “Community DRS”). As a supplement, these Neighborhood DRS are subordinate to the Community DRS. But, the Community DRS and these Neighborhood DRS are to be read together as compatible documents addressing different aspects of the design and construction of Improvements in this Neighborhood. These Neighborhood DRS further refine the standards applicable to this Neighborhood, but do not create any lower standards than apply to the Community as a whole through the Community DRS.

Section 1.03 Relationship to Other Governing Documents

These Neighborhood DRS are one of the Governing Documents for the Community. They must be read and interpreted in conjunction with the purpose and scope of the other Governing Documents, and not as an independent document. Their application is limited to issues relating only to this particular Neighborhood. They do not have any impact upon other Neighborhoods in the Community, or upon other Governing Documents that do not apply to this Neighborhood.

Section 1.04 Interpretation

These Neighborhood DRS must be liberally construed in a manner that will best achieve the purpose, intent, goals and objectives of the Declaration. During the Development Period, the Developer will have the exclusive power and discretion to resolve any questions concerning the proper interpretation of these Neighborhood DRS. After the Development Period, the Board of the Association will have the exclusive power and discretion concerning these interpretations. All interpretative decisions of the Developer and the Board will be final and binding on all Persons. If there is a conflict between the terms of the Declaration and these Neighborhood

DRS, the terms of the Declaration will control. If there is a conflict between the terms of these Neighborhood DRS and the Community DRS, the terms of the Community DRS will control.

Article Two

Adoption and Administration

Section 2.01 Adoption of Neighborhood Design Review Standards

Attachment 1 contains the standards, specifications and requirements applicable to all Improvements in this Neighborhood. That Attachment is incorporated by reference into, and made a material part of, these Neighborhood DRS. The Developer adopts the standards, specifications and requirements described in Attachment 1 as the Neighborhood Design Review Standards for this Neighborhood. All Owners of Lots in this Neighborhood are subject to these Neighborhood DRS. No Owner will begin or continue any Work on any Improvements on any Lot in this Neighborhood unless and until the Owner has complied with all terms, conditions and requirements in the Declaration, the Community DRS, and these Neighborhood DRS.

Section 2.02 Administration of Neighborhood Design Review Standards

The Design Review Board has exclusive jurisdiction over, and all rights, powers and authority relating to, all aspects of the administration and enforcement of these Neighborhood DRS, as well as related provisions of the Declaration and the Community DRS. However, all powers and authority of the DRB are subordinate and subject to the rights of the Developer during the Development Period, and to the continuing supervision and control of the Board at all times.

Section 2.03 Applicable Law

All procedures described in this document are separate and distinct from, and subject to, all Applicable Laws. In addition to the approvals required in the Neighborhood DRS, all Owners will be required to obtain from the appropriate Government Entities all necessary zoning permits, building permits and other permits and inspections required by Applicable Law. Further, all Owners and Builders will be required to comply with all Applicable Laws regarding construction standards, disposal of waste, use of public roadways and other aspects pertaining to the performance of Work in the Neighborhood. To the extent that these Neighborhood DRS, the Community DRS, the Declaration, or any of the other Governing Documents impose greater restrictions, standards or requirements than Applicable Law, the Owner and Builder must comply with those more stringent restrictions, standards and requirements. Compliance with Applicable Law will be at the sole cost and expense of the Owner.

Article Three

General Terms and Conditions

Section 3.01 Binding Effect

All terms, covenants, conditions, restrictions, reservations, obligations, rights, benefits and privileges in these Neighborhood DRS are binding upon all Persons who now own or in the future acquire any rights, title or interest in any Lot, Common Area or other portion of this

Neighborhood, and their respective heirs, beneficiaries, administrators, executors, guardians, conservators, custodians, attorneys-in-fact, legal representatives, successors and assigns.

Section 3.02 Constructive Notice and Acceptance

Every Person who now or in the future owns or acquires any rights, title or interest in any Lot, Common Area or other portion of this Neighborhood will be conclusively deemed to have notice of these Neighborhood DRS by virtue of references to this instrument in the Master Declaration for Stonehill Village, recorded in the public records of the office of the Greene County Recorder. By acceptance of a deed, mortgage or other instrument conveying any right, title or interest in any Lot, Common Area or other portion of this Neighborhood, the Person holding such interest will also be deemed to have consented and agreed to every term, covenant, condition, restriction, reservation, obligation, right, benefit and privilege in these Neighborhood DRS as being reasonable, necessary and fully enforceable, whether or not the instrument by which the Person acquired the interest specifically referred to the Declaration, the Community DRS or these Neighborhood DRS.

Section 3.03 Amendment

During the Development Period, only the Developer may amend these Neighborhood DRS. Any amendment by the Developer will not require any notice to, or consent, approval or signature of, the Association, Board, DRB, any Neighborhood Society or Council, any Owner, Qualified Mortgagee, or any other Person. After the Development Period, only the Board of the Association may amend these Neighborhood DRS by the affirmative majority vote of the Board members.

Section 3.04 Prior Non-Conforming Improvements

If, as a result of any amendment to these Neighborhood DRS, an Improvement that existed or that the DRB had approved prior to the effective date of the amendment would no longer be deemed to comply with these Neighborhood DRS, that prior non-conforming Improvement will be permitted to remain, and will not be deemed to be in violation of the Neighborhood DRS, as amended. However, all prior non-conforming Improvements must be brought into full compliance with these Neighborhood DRS as then in effect if that Improvement is materially damaged, destroyed, removed, repaired or replaced.

Section 3.05 Partial Invalidity

If a court of proper jurisdiction determines that any provision of these Neighborhood DRS, or their application to any Person, is to any extent void or invalid, then the remainder of the Neighborhood DRS will not be affected, and each remaining provision will be valid and enforced to the fullest extent permitted by Applicable Law.

Section 3.06 Governing Law

These Neighborhood DRS will be governed by and construed and enforced in accordance with the laws of the State of Ohio, and other Applicable Laws of any appropriate Government Entity.

These Neighborhood Design Standards for Spindletop at Stonehill Village have been adopted by the Developer, effective as of the 1st day of August, 2020.

DEVELOPER:

NUTTER ENTERPRISES, LTD.,
An Ohio Limited Liability Company

By: 
Robert W. Nutter, Authorized Member

Attachment 1

NEIGHBORHOOD DESIGN REVIEW STANDARDS

STANDARDS, SPECIFICATIONS AND REQUIREMENTS FOR SPINDLETOP AT STONEHILL VILLAGE

I. HOUSING CATEGORIES

- A. **Cornerstone Lots:** Lots 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144 and 145 shall be constructed with approved brick, painted or stained wood siding, EIFS, stone and/or stone facing with brick plinths; shall have 3-tab or dimensional asphalt / fiberglass shingle roofs with a minimum 8/12 pitch, and shall be one (1) and one and one-half (1½) or two (2) stories in height. The minimum heated and air-conditioned area, exclusive of basements, permitted in a dwelling shall be not less than 1,600 square feet nor more than 1,900 square feet, with an attached two or three car garage.
- B. **Regency Lots:** : Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 146, 147, 148, 149, 150, 151 and 152 shall be constructed with approved brick, painted or stained wood siding, EIFS, stone and/or stone facing with brick plinths; shall have 3-tab or dimensional asphalt / fiberglass shingle roofs with a minimum 8/12 pitch, and shall be one (1) and one and one-half (1½) or two (2) stories in height. The minimum heated and air-conditioned area, exclusive of basements, permitted in a dwelling shall be not less than 1,800 square feet nor more than 2,300 square feet, with an attached two or three car garage.
- C. **Manor Lots:** : Lots 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 89, 90 and 91 shall be constructed with approved brick, painted or stained wood siding, EIFS, stone and/or stone facing with brick plinths; shall have dimensional asphalt / fiberglass shingle roofs with a minimum 9/12 pitch, and shall be one (1) and one and one-half (1½) or two (2) stories in height. The minimum heated and air-conditioned area, exclusive of basements, permitted in a dwelling shall be not less than 2,200 square feet nor more than 2,800 square feet, with an attached two or three car garage.
- D. **Classic Lots:** : Lots 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87 and 88 shall be constructed with approved brick, painted or stained wood siding, EIFS, stone and/or stone facing with brick plinths; shall have dimensional asphalt / fiberglass shingle roofs with a minimum 9/12 pitch, and shall be one (1) and one and one-half (1½) or two (2) stories in height. The minimum heated and air-conditioned area, exclusive of basements, permitted in a dwelling shall be not less than 2,400 square feet, with an attached two or three car garage.

II. DESIGN ELEMENTS

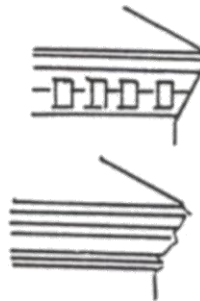
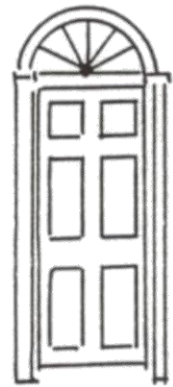
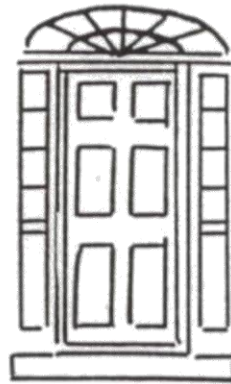
- A. **Architectural Style:** The approved architectural style in Spindletop at Stonehill Village is derived from American Traditional architecture. Architects and designers are encouraged to look at strong examples of this styling, as it includes Adam, Georgian, French Colonial, Greek Revival, Neoclassical, Colonial Revival and French Eclectic influences.
- B. **Architectural Massing and Scale:** The architectural massing and scale can best be achieved by close adherence to the scale and proportions of this American Traditional Style. Included in these DRS is a collection of suitable examples of exterior elevations, including a general review of each architectural style. Particular attention should be given to the basic massing of elements, the roof forms, the floor to ceiling heights, the window arrangements and proportion and relationship of each part of the Improvement to the whole, as well as general Improvement symmetry.
- C. **Construction Envelopes:** Lines have been established by the DRB in conjunction with the Beaver Creek Township Zoning Ordinance for each Lot, indicating the area designated for construction of the Improvements.
- D. **Home Size and Height:** The DRB shall have the right to modify these requirements to accommodate unusually shaped Lots.

ADAM

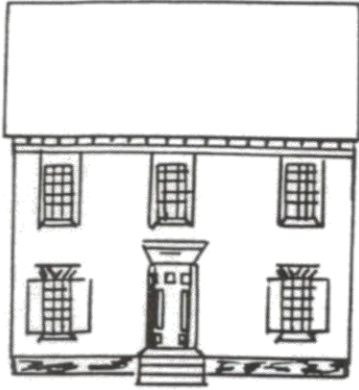


COLONIAL/Adam homes may be described as a simple box with doors and windows arranged symmetrically.

- ♦ Front Entry: Characterized by a semi-circular or elliptical fanlight over the front door which may include a decorative crown or small entry porch.
- ♦ Porch: Usually only a small entry porch.
- ♦ Cornice: Includes decorative moldings (dentils).
- ♦ Windows: Double-hung sashes with muntins. Alignment vertically and horizontally symmetric. Elliptical or Palladium windows common, especially in side gable. Decorated frieze (above windows) is common and sometimes topped with a cornice. Masonry houses usually have flat lentils, keystones/lentils or keystones alone.
- ♦ Roofs: Side gables most common. Roof pitch rarely over 8/12 pitch.
- ♦ Exterior Façade: Preference is wood clapboard or brick.
- ♦ Chimney Placement: Central interior or end chimney(s).

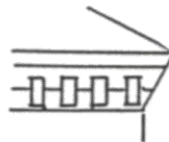
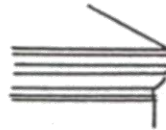
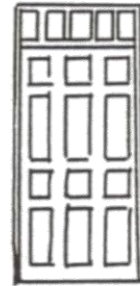
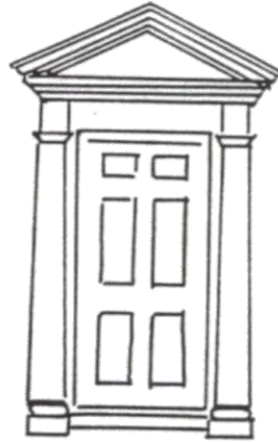


GEORGIAN



COLONIAL/Georgian homes are described as a simple box, one or two-stories where the doors and windows are symmetrical.

- ♦ Front Entry: Paneled door outlined by pillars (flat or raised). Small divided glass panes of glass (transoms) usually found above door
- ♦ Porches: Not common.
- ♦ Cornice: Includes decorative moldings (dentils).
- ♦ Windows: Double-hung sashes with muntins. Alignment vertically and horizontally symmetric. Decorated frieze or pediment.
- ♦ Roofs: Side-Gabled, hip and center gable roof most common. Gabled dormers.
- ♦ Exterior Façade: Preference is brick.
- ♦ Chimney Placement: End chimneys most common.

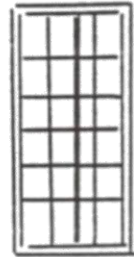
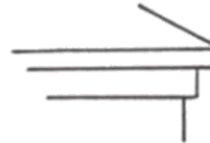


FRENCH COLONIAL



COLONIAL/French homes are typically a one-story home featuring a number of narrow and, shuttered windows and doors.

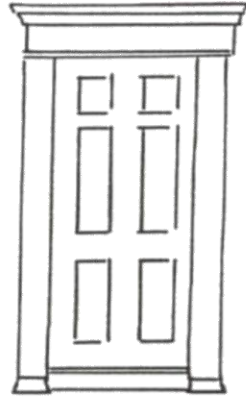
- ♦ Front Entry: French (paired) doors with small divided light windows over wooden panels. Semi-circular, elliptical and transom lights over front door.
- ♦ Porches: May be extensive supported by narrow columns and placed under roof line of house.
- ♦ Cornice: Simple cornice. Dentils may be added.
- ♦ Windows: Casement with muntins.
- ♦ Roofs: Most commonly hip (9/12 minimum pitch). May have side gables. Gabled dormers.
- ♦ Exterior Façade: Brick, wood clapboard and EIFS.
- ♦ Chimney Placement: Central interior or end chimney(s).



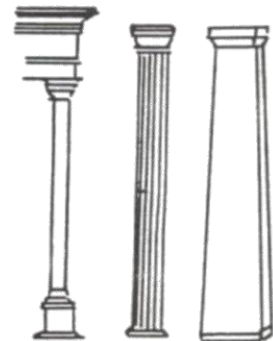
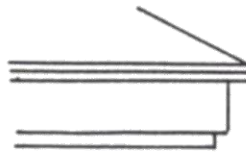
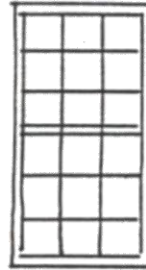
GREEK REVIVAL



GREEK REVIVAL homes are described as a one, one and one-half or two story homes, where the cornice consists of wide band, usually divided into two parts.



- ♦ Front Entry: Front door is usually paneled with small divided light transom windows above. Elaborate door surrounds are typical.
- ♦ Porches: Full-height and full-façade porches are common. Supported by round or square columns.
- ♦ Cornice: Wide cornice made up of two pieces.
- ♦ Windows: Double-hung sashes with muntins. (usually 6/6).
- ♦ Roofs: Front-gabled or side-gabled of medium pitch (8/12).
- ♦ Exterior Facades: Wood clapboard, EIFS and brick are common.
- ♦ Chimney Placement: End or center placement most common

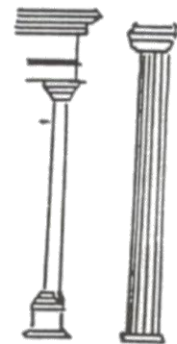
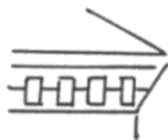
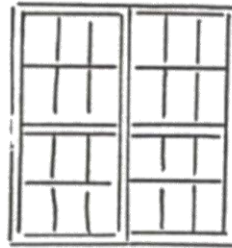
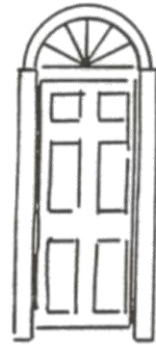
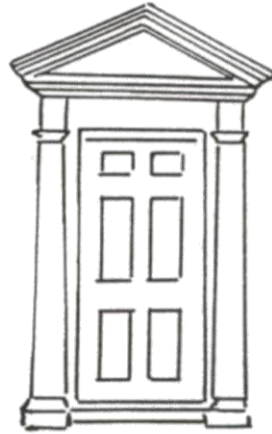


NEOCLASSICAL

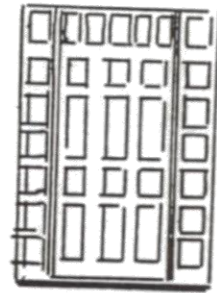


NEOCLASSICAL homes are one, one and one-half and two story homes with a full or partial porch.

- ♦ **Front Entry:** Generally follow doors as found on Adam, Georgian and Greek Revival elevations.
- ♦ **Porches:** Most common feature is full-height porches with front gable or full-façade with hipped roof supported by classical columns.
- ♦ **Cornice:** Usually with boxed eave. Dentils often added.
- ♦ **Windows:** Double-hung sashes with dentils (6/6 common). Bay, paired, transomed or arched windows are common.
- ♦ **Roofs:** Hip roof with Front Gable very common. One and one and one-half story homes have hipped roof with dormers.
- ♦ **Exterior Façade:** Brick, EIFS or wood clapboard most common.
- ♦ **Chimney Placement:** End or back placement.

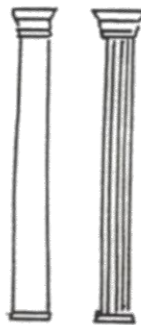
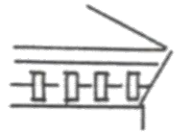
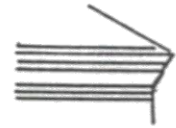
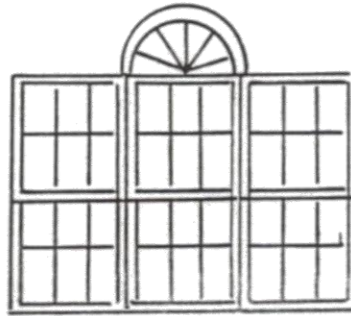


COLONIAL REVIVAL



COLONIAL REVIVAL homes are usually one story, one and one-half story (Cape Cod) or two stories in height featuring windows symmetrically arranged around a center front door.

- ♦ Front Entry: Doors with divided light transoms above, overhead fan-lights and sidelights are common.
- ♦ Porches: Full width porches are common. Gable Front with porches often seen.
- ♦ Cornice: Usually boxed roof-wall junction with minimum eave. Dentils are common.
- ♦ Windows: Double-hung sashes. Bay, paired or triple paired windows are common.
- ♦ Roofs: Hipped, side gabled and center gabled. Dormers very common.
- ♦ Exterior Façade: Brick preferred. Wood clapboard acceptable.
- ♦ Chimney Placement: End placement preferred.

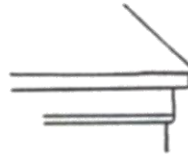


FRENCH ECLECTIC



FRENCH ECLECTIC homes are usually one, one and one-half and two story homes featuring high pitched roofs and use of dormers.

- ♦ Front Entry: Generally a symmetrical façade with entry placed in center with arched opening.
- ♦ Porches: Partial porches, if any.
- ♦ Cornice: Slight eave overhang, boxed. Dentils are common.
- ♦ Windows: Windows are usually divided light double-hung or casement sashes. French doors are common.
- ♦ Roofs: High-pitched (9/12 minimum featuring dormers.
- ♦ Exterior Façade: Brick, stone or EIFS are most common. Elaborate details such as brick, stone or EIFS quoining.
- ♦ Chimney Placement: Position open as per plan.



III. EXTERIOR FINISHED MATERIALS

- A. **Roofing:** Roofs on dwellings in Spindletop shall be constructed of approved materials for the respective Housing Category of the Lot. The Owner and Builder are responsible for providing the DRB with adequate samples to make a design determination.
- B. **Gutters and Downspouts:** Gutters and downspouts shall be constructed of aluminum and painted to match the cornice of the Primary Structure.
- C. **Brick:** Bricks shall be standard or jumbo sized. Mortar joints shall be traditional grapevine. The mortar color should complement the brick color. Traditional brick detailing is encouraged, such as English and Flemish bonds, watertable capes, sills, jacks, arches, segmental arches, lentils and soldier courses. The DRB will review additional selections that might represent a responsible traditional design. It is strongly recommended that Builders and Owners consider the use of brick, particularly on large Lots that adjoin Common Areas.
- D. **Windows:** Windows utilizing traditional themes on all elevations are required. Muntins are required for windows on the Primary Structure that face any streets. Exterior muntin colors must match the color of the exterior sash. Approved manufacturers are: Pella, Anderson, Eagle and Kolbe, but the Owner or Builder may present alternative manufacturers' window samples to the DRB for approval.
- E. **Paint Colors:** Doors, shutters, fascias, cornices, soffits and other miscellaneous trim are subject to color approval by the DRB. Suggested color pallets and paint / stain manufacturers may be found in the Community DRS, its Rules and Regulations, or upon request to the DRB. The Owner or Builder may present alternate color samples to the DRB for approval.
- F. **Shutters:** Shutters should be used judiciously and not on every window. Exterior shutters may be solid paneled (with raised panels) or louvered. When used, shutters must be used consistently on all elevations and must be sized to fully cover the adjacent windows. Materials used for shutters must be approved by the DRB.
- G. **Front Doors:** Front doors shall be traditional in style, or another similar style approved by the DRB. Etched and beveled glass, with or without side lights, are permitted. Transoms and pediments above the door are encouraged.
- H. **Secondary Doors:** Secondary doors shall be "French Door" style with vertical glass and full muntins (and the exterior color of muntins must match the exterior color of the door), or another similar style approved by the DRB.
- I. **Utility Doors:** Utility doors shall be paneled, or another similar style approved by the DRB, and the color shall match the color of the windows and other secondary doors.
- J. **Skylights:** Skylights are permitted, but are not to be visible from any streets and must be consistent with the architectural theme. Cupolas, dormers, lanterns, belvederes and window bays are permitted, as long as they are consistent with the architectural theme.
- K. **Exterior Lighting:** Uniform street lights shall be provided by the Developer. The Owner or Builder shall be responsible for the installation of lights in appropriate, approved locations.

- L. **Garages:** Garages shall be side or rear-entry and attached to the Primary Structure, as required by Beaver Creek Township Zoning. Eight foot wide individual bay doors are preferred over double-wide doors. Garage profiles shall not protrude beyond the front elevation of the Primary Structure. Windows are encouraged in the walls of the garages. Sufficient storage area should be planned for tools, auto accessories and trash container storage in the garage space.
- a. ***Pedestrian Garage Doors:*** All pedestrian garage doors shall be solid, six-panel doors, or another similar style approved by the DRB.
 - b. ***Vehicular Garage Doors:*** All vehicular garage doors shall be solid flush doors or solid paneled doors, or another similar style approved by the DRB. No glazing is permitted on garage doors, unless consistent with architectural style.
- M. **Driveways:** The appearance of driveways and entry courts shall be consistent throughout the Neighborhood. Driveways shall be made of concrete. Driveways shall be limited to one lane-width (12 feet) where joining the street and between the Lot line and the required set-back line, but may be widened to provide a comfortable turn-around area with adequate space for guest parking. It is the Owner or Builder's responsibility and expense to build the apron and flare in the right of way.
- N. **Walkways:** Front walkways shall be constructed of brick pavers and shall be uniform throughout the Neighborhood.
- O. **Screened-In Porches:** Screened-in porches are encouraged on the rear or sides of the Primary Structure, but are not permitted in the front of the Primary Structure. Detailing of such porches shall be traditional wood with a break in screening at the rail height. Columns or full-height vertical wood members shall be at least 6" by 6". All screened-in porch trim shall be painted or stained to blend with the exterior of the Primary Structure.
- P. **Balconies, Porches, Platforms, Decks:** All constructed platforms above grade shall be located within the construction envelope and the plans must be submitted to the DRB for approval in advance.
- Q. **Service Courts:** Service courts shall be provided to shield certain outdoor facilities from neighboring Lots and Common Areas, including: air conditioners, garbage cans and carts, irrigation controllers and meters. All such facilities on the Lot shall be enclosed within a service court, attached to the house and entirely enclosed by a privacy wall or fence (at a minimum height of 4 feet). Service courts shall be located away from the bedrooms of adjoining residences, when possible. Service courts may be located in the Side or Rear Yards, but not in the Front Yard.
- R. **House Numbers:** Location of house numbers shall be as approved by the DRB. House numbers shall be standard for all houses and shall be provided by the Developer. Owners or Builders shall install the house numbers only in the approved location.
- S. **Solar Collectors:** Solar collectors are not permitted.
- T. **Storm and Screen Doors:** Storm and screen doors are permitted with DRB approval, but shall not detract from or adversely alter the appearance of any entryway. Storm and screen doors are not permitted on the front door facing the street.

- U. **Trellis:** Any trellis shall harmonize and integrate with the architectural style, design and visual scale of the building to which it is attached. A free standing trellis is generally not permitted.
- V. **Wiring:** An “AHOT Home 2000 Prewire” basic integrated system is to be included in all homes. The basic integrated system and electronics to be positioned can be upgraded at Owner’s choice and DRB approval.
- W. **Sidewalks:** The Owner or Builder is responsible for construction and cost of front sidewalk in the right of way, per DRS specifications.
- X. **Mailboxes:** Mailboxes are to be provided by the Developer. Installation of the approved mailbox is the responsibility of the Owner or Builder, per DRS specifications.
- Y. **Street Lamps:** Street lamps are to be provided by the Developer. Installation of the street lamps in appropriate location is the responsibility of the Owner or Builder, per DRS specifications.

IV. SITE DETAILS

Landscape Plan: The Owner or Builder shall submit a complete Landscape Plan for the Lot to the DRB for review and approval, and shall submit additional Landscape Plans as updated or altered in the future. The plan shall be submitted in accordance with the Community DRS, and shall emphasize foundation plantings and screening of parking areas and of private outdoor living spaces. Design restraint shall be used in the space between the curb and within ten feet of the Primary Structure, in order to maintain a uniform street scene.

V. APPROVED EXTERIOR COLORS AND MATERIALS

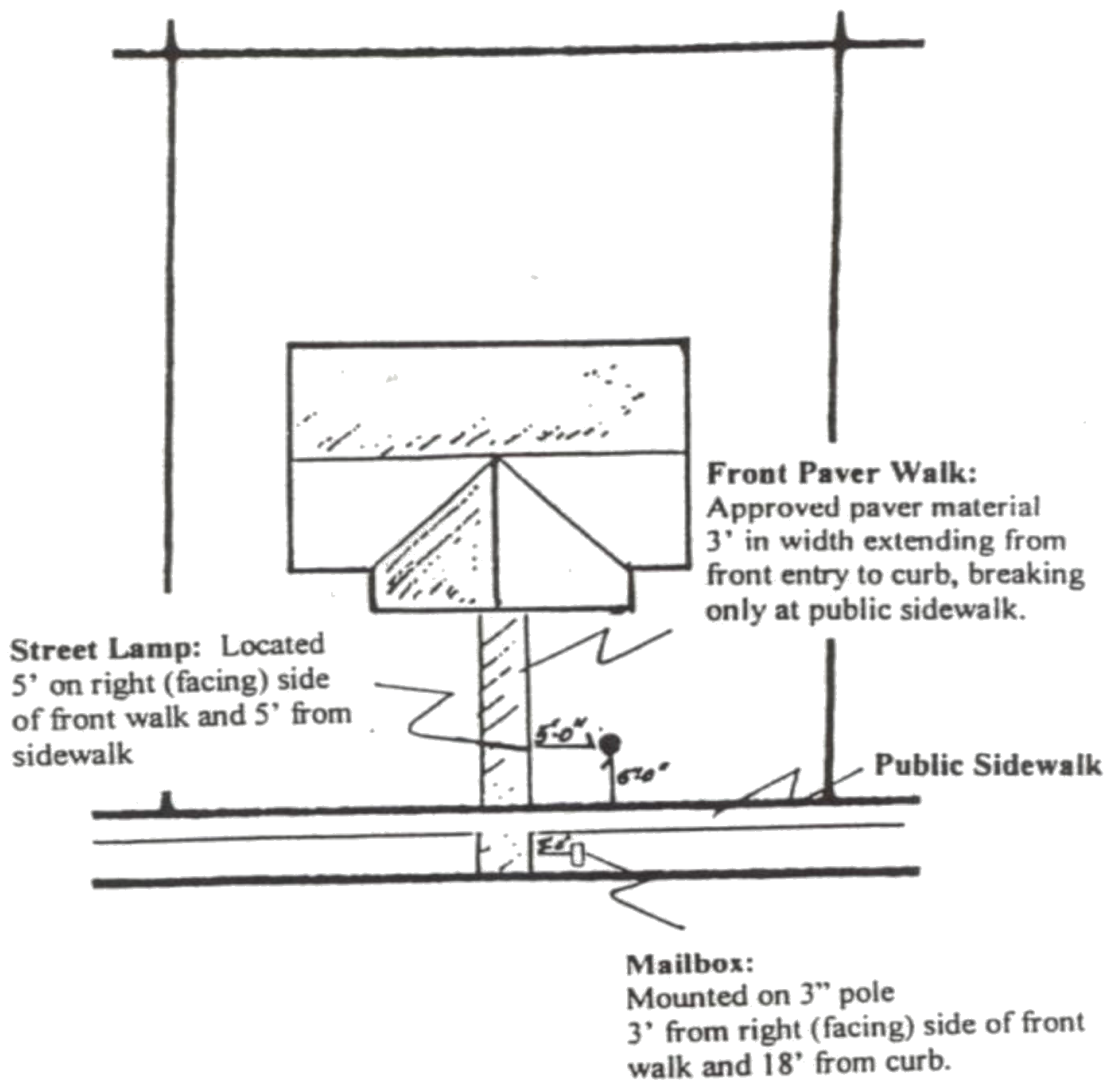
- A. **Stain Colors (Semi-Transparent):**
 - i. *Olympic:* 900, 901, 909, 920, 917
 - ii. *Behr:* 918, 900, 901
- B. **Stain Colors (Solid):**
 - i. *Olympic:* Outside White, Navajo White, Beige Gray, Sandstone, Willowmist
 - ii. *Behr:* Navajo White-362, Pinto White-337, Tuscan White-507, Willowmist-505
- C. **Paint Colors:**
 - i. *Benjamin Moore Historical Color Collection:* Greenmont Silk-HC82, Weston Flax-HC-5, Windham Cream-HC-6, Shaker Beige-HC45, Bennington Gray-HC82, Abbington Patty-HC99, Lancaster White Wash-HC-174
 - 1. Accent Colors: HC76, HC90, HC127, HC66, HC70, HC133, HC134, HC61
 - ii. *Sherwin Williams Heritage Colors:* Gazebo White/SW2221, Portico/SW2072, Oriel Gray/SW2095, Western Reserve Beige/SW2052, Cottage Cream/SW2347, Lattice/SW2102, Nantucket Dune/SW2066
 - 1. Accent Colors: SW2168, SW2301, SW2392, SW2237

- iii. *Valspar Southern Heritage*: Off Shore Mist, Suntan, DewKist, Light Sand, Sand, Colonial White, Taupe
 - 1. Accent Colors: Vandyke Brown, Shutter Green, Dark Rosewood
- D. **Roof Materials and Colors:**
- i. *3-Tab Fiberglass (25 year life)*: Owens Corning (Supreme)-Driftwood, Estate Gray, Weathered Wood, Colonial Slate
 - ii. *Dimensional Fiberglass / Asphalt*: Tamko American Heritage II-Weathered Wood, Rustic Black, Rustic Slate, Oxford Gray, Old English Pewter
- E. **Brick:**
- i. *Cherokee Brick & Tile*: GA Maroon Modular
 - ii. *Glen-Gary*: Shelby
 - iii. *Cunningham*: Bellhaven
 - iv. *US Brick*: English Blend and Smithsonian
 - v. *Cherokee Sanford*: Monticello
 - vi. *G/S*: Osage Tudor
 - vii. *General Clay*: Old Henderson
- F. **Stone / Stone Facing:**
- i. *Capital City Stone, Inc.*: Northern Weatherface and Limestone
 - ii. *Centruion*: Kentucky Rubble and Gray Centurion Castle
- G. **EIPS (Exterior Insulation Finish Systems):** Colors to match / accent approved stain and paint colors.
- H. **Front Walk Pavers:**
- i. *Pinehall Paving Brick*: Brookstown, Harbourtown, Pathway
 - ii. *Watsonstown*: Garden Blend Paver

VI. FRONT PAVER WALK, STREET LIGHT AND MAILBOX LOCATION

- A. **Front Paver Walk:** Walk will be constructed of approved paver materials and be three feet in width and extend from front entry to curb, breaking only for public sidewalk.
- B. **Street Lamp:** Street lamp will be located five feet from public sidewalk and five feet from right side (facing) paver walk. See Drawing.
- C. **Mailbox:** Mailbox will be located 18-inches from the curb and 3 feet from the right side (facing) paver walk. Height will be the standard required by the USPS. See Drawing.

“Drawing A”



VII. REQUIRED STREET TREE PROTECTION

The street tree program in Stonehill Village is an integral part of the Community. A great deal of time and money has been invested to establish the street tree planting within each Neighborhood. Protection of the street trees, especially during construction activities, is crucial and required, per illustration below. Any damaged or dead street tree must be replaced at the expense of the Owner.

