

# **FIRST AMENDMENT AND RESTATEMENT OF NEIGHBORHOOD DESIGN REVIEW STANDARDS FOR STEEPLECHASE AT STONEHILL VILLAGE**

Nutter Enterprises, Ltd., an Ohio limited liability company ("Developer") adopts this First Amendment and Restatement of the Neighborhood Design Review Standards for Steeplechase at Stonehill Village (the "Neighborhood DRS") effective as of August 1, 2020.

**1. Background.** Developer adopted the original Neighborhood DRS on October 25, 2001. Section 3.04 of the original Neighborhood DRS, or Section 3.03 as amended herein, permits the Developer to amend the Neighborhood DRS unilaterally during the Development Period without any notice to, or consent, approval or signature of, the Association, Board, DRB, Neighborhood Council, Owner, Qualified Mortgagee or any other Person, as those capitalized terms are defined in the Master Declaration of Covenants, Conditions and Restrictions for Stonehill Village. Developer now intends to exercise that right of unilateral amendment for the purposes and to the extent described in this First Amendment and Restatement.

**2. Purpose of Amendment and Restatement.** Since the adoption of the Neighborhood DRS, the Neighborhood has grown substantially, technology has improved, and design considerations have evolved. In light of these changes, and in an effort to modernize, simplify and clarify the Neighborhood DRS, Developer now desires to amend and restate the Neighborhood DRS.

**3. Restatement.** Developer now amends the Neighborhood DRS by completely deleting all provisions of the Neighborhood DRS, and amending and restating the Neighborhood DRS in its entirety, as set forth in Exhibit A to this Amendment.


**4. Ratification.** Except as specifically modified herein, the Neighborhood Design Review Standards for Steeplechase at Stonehill Village remain in full force and effect. The Developer ratifies and confirms the Neighborhood Design Review Standards for Steeplechase at Stonehill Village, as amended and restated.

The Developer adopted this Amendment and Restatement of Neighborhood Design Review Standards for Steeplechase at Stonehill Village as of the date written above.

## **DEVELOPER:**

**NUTTER ENTERPRISES, LTD.,**  
An Ohio Limited Liability Company

By:   
Robert W. Nutter, Trustee, Member

By:   
Mary C. Nutter, Trustee, Member

**RESTATED**  
**NEIGHBORHOOD**  
**DESIGN REVIEW STANDARDS**  
**FOR**  
**STEEPLECHASE AT**  
**STONEHILL VILLAGE**

*A Nutter Enterprises, Ltd. Development*

**Located At**

**BEAVERCREEK TOWNSHIP, GREENE COUNTY, OHIO**

**This Document Prepared By**

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# Table of Contents

## Neighborhood Design Review Standards

<b>Article One</b>	<b>Overview .....</b>	<b>1</b>
Section 1.01	Purpose of Design Review Standards .....	1
Section 1.02	Relationship to Community Design Review Standards.....	1
Section 1.03	Relationship to Other Governing Documents.....	1
Section 1.04	Interpretation.....	1
 <b>Article Two</b>	 <b>Adoption and Administration.....</b>	 <b>2</b>
Section 2.01	Adoption of Neighborhood Design Review Standards.....	2
Section 2.02	Administration of Neighborhood Design Review Standards.....	2
Section 2.03	Applicable Law .....	2
 <b>Article Three</b>	 <b>General Terms and Conditions .....</b>	 <b>2</b>
Section 3.01	Binding Effect.....	2
Section 3.02	Constructive Notice and Acceptance .....	3
Section 3.03	Amendment.....	3
Section 3.04	Prior Non-Conforming Improvements.....	3
Section 3.05	Partial Invalidity.....	3
Section 3.06	Governing Law .....	3
 <b>Attachment 1</b>	 <b>Standards, Specifications &amp; Requirements .....</b>	 <b>i</b>

# **Neighborhood Design Review Standards For Steeplechase at Stonehill Village**

The following Neighborhood Design Review Standards are adopted pursuant to Part Four of the Master Declaration of Covenants, Conditions and Restrictions for Stonehill Village.

## **Article One Overview**

### **Section 1.01 Purpose of Design Review Standards**

The purpose of these Neighborhood Design Review Standards (the “Neighborhood DRS”) is to establish the particular standards, specifications and requirements that will give the Steeplechase at Stonehill Village Neighborhood its unique character and appeal. These Neighborhood DRS provide specific requirements and restrictions that apply to all Improvements in this Neighborhood.

### **Section 1.02 Relationship to Community Design Review Standards**

These Neighborhood DRS supplement the Community Design Review Standards for the Stonehill Village Community (the “Community DRS”). As a supplement, these Neighborhood DRS are subordinate to the Community DRS. But, the Community DRS and these Neighborhood DRS are to be read together as compatible documents addressing different aspects of the design and construction of Improvements in this Neighborhood. These Neighborhood DRS further refine the standards applicable to this Neighborhood, but do not create any lower standards than apply to the Community as a whole through the Community DRS.

### **Section 1.03 Relationship to Other Governing Documents**

These Neighborhood DRS are one of the Governing Documents for the Community. They must be read and interpreted in conjunction with the purpose and scope of the other Governing Documents, and not as an independent document. Their application is limited to issues relating only to this particular Neighborhood. They do not have any impact upon other Neighborhoods in the Community, or upon other Governing Documents that do not apply to this Neighborhood.

### **Section 1.04 Interpretation**

These Neighborhood DRS must be liberally construed in a manner that will best achieve the purpose, intent, goals and objectives of the Declaration. During the Development Period, the Developer will have the exclusive power and discretion to resolve any questions concerning the proper interpretation of these Neighborhood DRS. After the Development Period, the Board of the Association will have the exclusive power and discretion concerning these interpretations. All interpretative decisions of the Developer and the Board will be final and binding on all Persons. If there is a conflict between the terms of the Declaration and these Neighborhood

DRS, the terms of the Declaration will control. If there is a conflict between the terms of these Neighborhood DRS and the Community DRS, the terms of the Community DRS will control.

## **Article Two**

### **Adoption and Administration**

#### **Section 2.01 Adoption of Neighborhood Design Review Standards**

Attachment 1 contains the standards, specifications and requirements applicable to all Improvements in this Neighborhood. That Attachment is incorporated by reference into, and made a material part of, these Neighborhood DRS. The Developer adopts the standards, specifications and requirements described in Attachment 1 as the Neighborhood Design Review Standards for this Neighborhood. All Owners of Lots in this Neighborhood are subject to these Neighborhood DRS. No Owner will begin or continue any Work on any Improvements on any Lot in this Neighborhood unless and until the Owner has complied with all terms, conditions and requirements in the Declaration, the Community DRS, and these Neighborhood DRS.

#### **Section 2.02 Administration of Neighborhood Design Review Standards**

The Design Review Board has exclusive jurisdiction over, and all rights, powers and authority relating to, all aspects of the administration and enforcement of these Neighborhood DRS, as well as related provisions of the Declaration and the Community DRS. However, all powers and authority of the DRB are subordinate and subject to the rights of the Developer during the Development Period, and to the continuing supervision and control of the Board at all times.

#### **Section 2.03 Applicable Law**

All procedures described in this document are separate and distinct from, and subject to, all Applicable Laws. In addition to the approvals required in the Neighborhood DRS, all Owners will be required to obtain from the appropriate Government Entities all necessary zoning permits, building permits and other permits and inspections required by Applicable Law. Further, all Owners and Builders will be required to comply with all Applicable Laws regarding construction standards, disposal of waste, use of public roadways and other aspects pertaining to the performance of Work in the Neighborhood. To the extent that these Neighborhood DRS, the Community DRS, the Declaration, or any of the other Governing Documents impose greater restrictions, standards or requirements than Applicable Law, the Owner and Builder must comply with those more stringent restrictions, standards and requirements. Compliance with Applicable Law will be at the sole cost and expense of the Owner.

## **Article Three**

### **General Terms and Conditions**

#### **Section 3.01 Binding Effect**

All terms, covenants, conditions, restrictions, reservations, obligations, rights, benefits and privileges in these Neighborhood DRS are binding upon all Persons who now own or in the future acquire any rights, title or interest in any Lot, Common Area or other portion of this

Neighborhood, and their respective heirs, beneficiaries, administrators, executors, guardians, conservators, custodians, attorneys-in-fact, legal representatives, successors and assigns.

### **Section 3.02 Constructive Notice and Acceptance**

Every Person who now or in the future owns or acquires any rights, title or interest in any Lot, Common Area or other portion of this Neighborhood will be conclusively deemed to have notice of these Neighborhood DRS by virtue of references to this instrument in the Master Declaration for Stonehill Village, recorded in the public records of the office of the Greene County Recorder. By acceptance of a deed, mortgage or other instrument conveying any right, title or interest in any Lot, Common Area or other portion of this Neighborhood, the Person holding such interest will also be deemed to have consented and agreed to every term, covenant, condition, restriction, reservation, obligation, right, benefit and privilege in these Neighborhood DRS as being reasonable, necessary and fully enforceable, whether or not the instrument by which the Person acquired the interest specifically referred to the Declaration, the Community DRS or these Neighborhood DRS.

### **Section 3.03 Amendment**

During the Development Period, only the Developer may amend these Neighborhood DRS. Any amendment by the Developer will not require any notice to, or consent, approval or signature of, the Association, Board, DRB, any Neighborhood Society or Council, any Owner, Qualified Mortgagee, or any other Person. After the Development Period, only the Board of the Association may amend these Neighborhood DRS by the affirmative majority vote of the Board members.

### **Section 3.04 Prior Non-Conforming Improvements**

If, as a result of any amendment to these Neighborhood DRS, an Improvement that existed or that the DRB had approved prior to the effective date of the amendment would no longer be deemed to comply with these Neighborhood DRS, that prior non-conforming Improvement will be permitted to remain, and will not be deemed to be in violation of the Neighborhood DRS, as amended. However, all prior non-conforming Improvements must be brought into full compliance with these Neighborhood DRS as then in effect if that Improvement is materially damaged, destroyed, removed, repaired or replaced.

### **Section 3.05 Partial Invalidity**

If a court of proper jurisdiction determines that any provision of these Neighborhood DRS, or their application to any Person, is to any extent void or invalid, then the remainder of the Neighborhood DRS will not be affected, and each remaining provision will be valid and enforced to the fullest extent permitted by Applicable Law.

### **Section 3.06 Governing Law**

These Neighborhood DRS will be governed by and construed and enforced in accordance with the laws of the State of Ohio, and other Applicable Laws of any appropriate Government Entity.

These Neighborhood Design Standards for Steeplechase at Stonehill Village have been adopted by the Developer, effective as of the 1st day of August, 2020.

**DEVELOPER:**

**NUTTER ENTERPRISES, LTD.,**  
An Ohio Limited Liability Company

By:   
Robert W. Nutter, Authorized Member



# **Attachment 1**

## **NEIGHBORHOOD DESIGN REVIEW STANDARDS**

### **STANDARDS, SPECIFICATIONS AND REQUIREMENTS FOR STEEPLECHASE AT STONEHILL VILLAGE**

#### **I. DESIGN ELEMENTS**

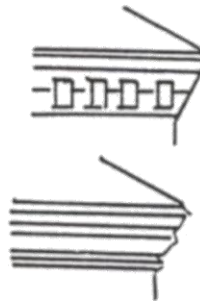
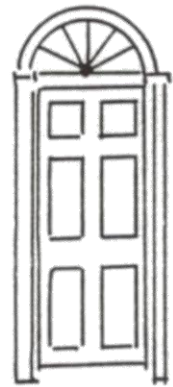
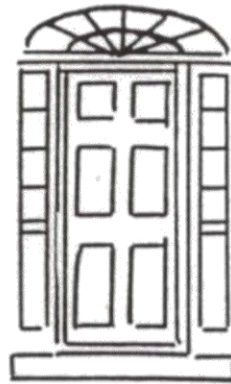
- A. Architectural Style:** The approved architectural style in Steeplechase at Stonehill Village is derived from American Traditional architecture. Architects and designers are encouraged to look at strong examples of this styling, as it includes Adam, Georgian, French Colonial, Greek Revival, Neoclassical, Colonial Revival and French Eclectic influences.
- B. Architectural Massing and Scale:** The architectural massing and scale can best be achieved by close adherence to the scale and proportions of this American Traditional Style. Included in these DRS is a collection of suitable examples of exterior elevations, including a general review of each architectural style. Particular attention should be given to the basic massing of elements, the roof forms, the floor to ceiling heights, the window arrangements and proportion and relationship of each part of the Improvement to the whole, as well as general Improvement symmetry.
- C. Construction Envelopes:** Lines have been established by the DRB in conjunction with the Beaver Creek Township Zoning Ordinance for each Lot, indicating the area designated for construction of the Improvements.
- D. Home Size and Height:** The DRB shall have the right to modify these requirements to accommodate unusually shaped Lots.

## ADAM

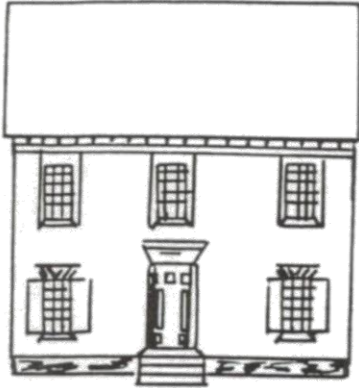


*COLONIAL/Adam homes may be described as a simple box with doors and windows arranged symmetrically.*

- ♦ Front Entry: Characterized by a semi-circular or elliptical fanlight over the front door which may include a decorative crown or small entry porch.
- ♦ Porch: Usually only a small entry porch.
- ♦ Cornice: Includes decorative moldings (dentils).
- ♦ Windows: Double-hung sashes with muntins. Alignment vertically and horizontally symmetric. Elliptical or Palladium windows common, especially in side gable. Decorated frieze (above windows) is common and sometimes topped with a cornice. Masonry houses usually have flat lentils, keystones/lentils or keystones alone.
- ♦ Roofs: Side gables most common. Roof pitch rarely over 8/12 pitch.
- ♦ Exterior Façade: Preference is wood clapboard or brick.
- ♦ Chimney Placement: Central interior or end chimney(s).

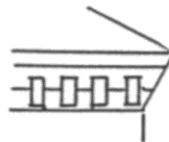
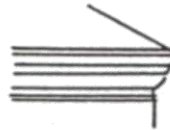
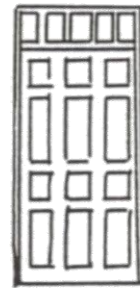
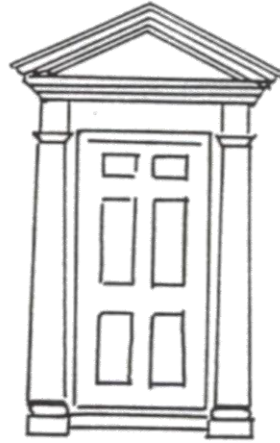


## GEORGIAN



*COLONIAL/Georgian homes are described as a simple box, one or two-stories where the doors and windows are symmetrical.*

- ♦ Front Entry: Paneled door outlined by pillars (flat or raised). Small divided glass panes of glass (transoms) usually found above door
- ♦ Porches: Not common.
- ♦ Cornice: Includes decorative moldings (dentils).
- ♦ Windows: Double-hung sashes with muntins. Alignment vertically and horizontally symmetric. Decorated frieze or pediment.
- ♦ Roofs: Side-Gabled, hip and center gable roof most common. Gabled dormers.
- ♦ Exterior Façade: Preference is brick.
- ♦ Chimney Placement: End chimneys most common.

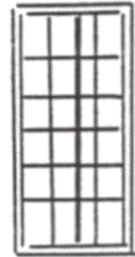
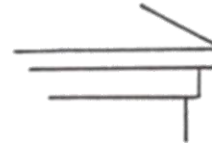


## FRENCH COLONIAL

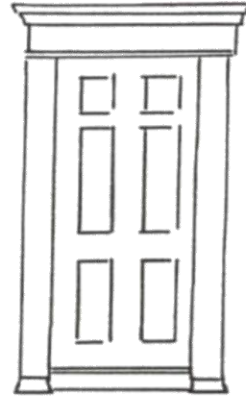


*COLONIAL/French homes are typically a one-story home featuring a number of narrow and, shuttered windows and doors.*

- ♦ Front Entry: French (paired) doors with small divided light windows over wooden panels. Semi-circular, elliptical and transom lights over front door.
- ♦ Porches: May be extensive supported by narrow columns and placed under roof line of house.
- ♦ Cornice: Simple cornice. Dentils may be added.
- ♦ Windows: Casement with muntins.
- ♦ Roofs: Most commonly hip (9/12 minimum pitch). May have side gables. Gabled dormers.
- ♦ Exterior Façade: Brick, wood clapboard and EIFS.
- ♦ Chimney Placement: Central interior or end chimney(s).

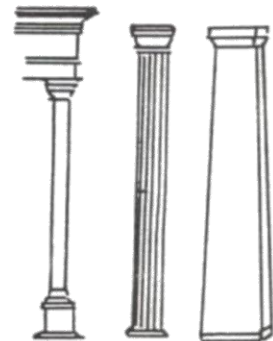
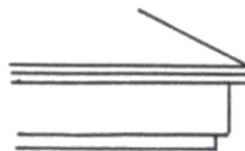
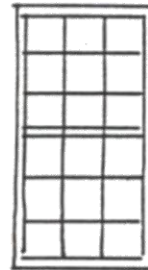


## GREEK REVIVAL



*GREEK REVIVAL homes are described as a one, one and one-half or two story homes, where the cornice consists of wide band, usually divided into two parts.*

- ♦ Front Entry: Front door is usually paneled with small divided light transom windows above. Elaborate door surrounds are typical.
- ♦ Porches: Full-height and full-façade porches are common. Supported by round or square columns.
- ♦ Cornice: Wide cornice made up of two pieces.
- ♦ Windows: Double-hung sashes with muntins. (usually 6/6).
- ♦ Roofs: Front-gabled or side-gabled of medium pitch (8/12).
- ♦ Exterior Facades: Wood clapboard, EIFS and brick are common.
- ♦ Chimney Placement: End or center placement most common

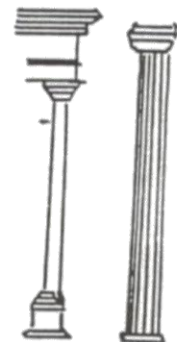
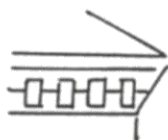
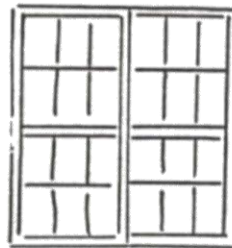
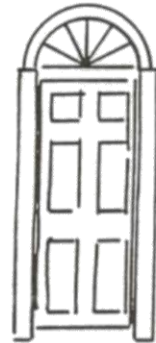
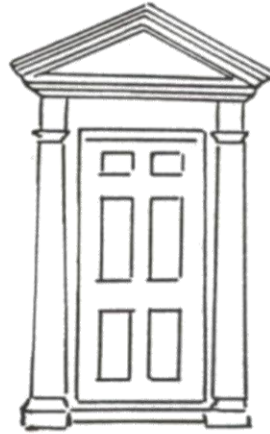


## NEOCLASSICAL



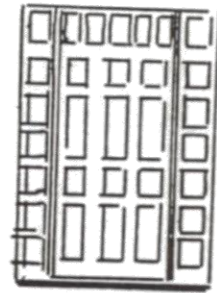
*NEOCLASSICAL homes are one, one and one-half and two story homes with a full or partial porch.*

- ♦ **Front Entry:** Generally follow doors as found on Adam, Georgian and Greek Revival elevations.
- ♦ **Porches:** Most common feature is full-height porches with front gable or full-façade with hipped roof supported by classical columns.
- ♦ **Cornice:** Usually with boxed eave. Dentils often added.
- ♦ **Windows:** Double-hung sashes with dentils (6/6 common). Bay, paired, transomed or arched windows are common.
- ♦ **Roofs:** Hip roof with Front Gable very common. One and one and one-half story homes have hipped roof with dormers.
- ♦ **Exterior Façade:** Brick, EIFS or wood clapboard most common.
- ♦ **Chimney Placement:** End or back placement.



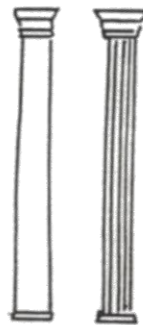
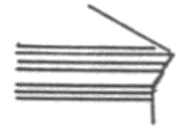
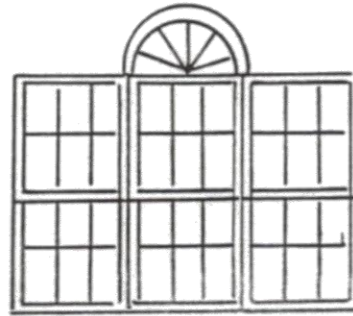


## COLONIAL REVIVAL



*COLONIAL REVIVAL homes are usually one story, one and one-half story (Cape Cod) or two stories in height featuring windows symmetrically arranged around a center front door.*

- ♦ Front Entry: Doors with divided light transoms above, overhead fan-lights and sidelights are common.
- ♦ Porches: Full width porches are common. Gable Front with porches often seen.
- ♦ Cornice: Usually boxed roof-wall junction with minimum eave. Dentils are common.
- ♦ Windows: Double-hung sashes. Bay, paired or triple paired windows are common.
- ♦ Roofs: Hipped, side gabled and center gabled. Dormers very common.
- ♦ Exterior Façade: Brick preferred. Wood clapboard acceptable.
- ♦ Chimney Placement: End placement preferred.

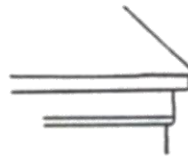


## FRENCH ECLECTIC



*FRENCH ECLECTIC homes are usually one, one and one-half and two story homes featuring high pitched roofs and use of dormers.*

- ♦ Front Entry: Generally a symmetrical façade with entry placed in center with arched opening.
- ♦ Porches: Partial porches, if any.
- ♦ Cornice: Slight eave overhang, boxed. Dentils are common.
- ♦ Windows: Windows are usually divided light double-hung or casement sashes. French doors are common.
- ♦ Roofs: High-pitched (9/12 minimum featuring dormers.
- ♦ Exterior Façade: Brick, stone or EIFS are most common. Elaborate details such as brick, stone or EIFS quoining.
- ♦ Chimney Placement: Position open as per plan.





## II. EXTERIOR FINISHED MATERIALS

- A. **Roofing:** Roofs on dwellings in Steeplechase shall be constructed of approved 25-year asphalt or fiberglass 3-tab and/or dimensional roofing, of an architectural grade. Roofs must maintain a 7/12 pitch. The Owner and Builder are responsible for providing the DRB with adequate samples to make a design determination.
- B. **Gutters and Downspouts:** Gutters and downspouts shall be constructed of aluminum and painted to match the cornice of the Primary Structure.
- C. **Brick:** Bricks shall be standard or jumbo sized. Mortar joints shall be traditional grapevine. The mortar color should complement the brick color. Traditional brick detailing is encouraged, such as English and Flemish bonds, watertable capes, sills, jacks, arches, segmental arches, lentils and soldier courses. The DRB will review additional selections that might represent a responsible traditional design. It is strongly recommended that Builders and Owners consider the use of brick, particularly on large Lots that adjoin Common Areas.
  - i. ***Brick Wraps Required:*** Brick wraps will be required on Lots 5, 6, 7, 15, 16, 17, 18, 19, 20, 21, 22, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 56, 57, 58, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 59, 60, and 61 in Steeplechase.
  - ii. ***Other Materials:*** Owner or Builder shall provide DRB examples and specifications of any proposed vinyl siding and aluminum wraps for accent and design elements, as well as examples of stone or stone facing and brick.
- D. **Block Foundation:** The top course of any block shall be split-face. The Owner or Builder are responsible for providing the DRB with adequate samples to make a design determination.
- E. **Windows:** Windows utilizing traditional themes on all elevations are required. Muntins are required for windows on the Primary Structure that face any streets. Exterior muntin colors must match the color of the exterior sash. Approved manufacturer is Capital, but the Owner or Builder may present alternative manufacturers' window samples to the DRB for approval.
- F. **Paint Colors:** Doors, shutters, fascia, cornices, soffits and other miscellaneous trim are subject to color approval by the DRB. Suggested color pallets and paint / stain manufacturers may be found in the Community DRS, its Rules and Regulations, or upon request to the DRB. The Owner or Builder may present alternate color samples to the DRB for approval.
- G. **Shutters:** Shutters should be used judiciously and not on every window. Exterior shutters may be solid paneled (with raised panels) or louvered. When used, shutters must be used consistently on all elevations and must be sized to fully cover the adjacent windows. Materials used for shutters must be approved by the DRB.
- H. **Front Doors:** Front doors shall be traditional in style, or another similar style approved by the DRB. Etched and beveled glass, with or without side lights, are permitted. Transoms and pediments above the door are encouraged.

- I. **Secondary Doors:** Secondary doors shall be “French Door” style with vertical glass and full muntins (and the exterior color of muntins must match the exterior color of the door), or another similar style approved by the DRB.
- J. **Utility Doors:** Utility doors shall be paneled, or another similar style approved by the DRB, and the color shall match the color of the windows and other secondary doors.
- K. **Skylights:** Skylights are permitted, but are not to be visible from any streets and must be consistent with the architectural theme.
- L. **Exterior Lighting:** Uniform street lights shall be as approved by the DRB and consistent throughout the Neighborhood. The Owner or Builder shall be responsible for the installation of lights in appropriate, approved locations.
- M. **Garages:** Garages shall be front-entry and attached to the Primary Structure, as required by Beaver Creek Township Zoning. Sufficient storage area should be planned for tools, auto accessories and trash container storage in the garage space.
  - i. ***Pedestrian Garage Doors:*** All pedestrian garage doors shall be solid, six-panel doors, or another similar style approved by the DRB.
  - ii. ***Vehicular Garage Doors:*** All vehicular garage doors shall be solid flush doors or solid paneled doors, carriage doors, or another similar style approved by the DRB as consistent with the overall style of the Primary Structure. No glazing is permitted on garage doors, unless consistent with architectural style.
- N. **Driveways:** The appearance of driveways and entry courts shall be consistent throughout the Neighborhood. Driveways shall be made of concrete.
- O. **Screened-In Porches:** Screened-in porches are encouraged on the rear or sides of the Primary Structure, but are not permitted in the front of the Primary Structure. All screened-in porch trim shall be painted or stained to blend with the exterior of the Primary Structure.
- P. **Balconies, Porches, Platforms, Decks:** All constructed platforms above grade shall be located within the construction envelope.
- Q. **Screening:** Landscape screening shall be installed to shield certain outdoor facilities from neighboring Lots and Common Areas, including: air conditioners and meters. Such facilities may be located in the Side or Rear Yards, but not in the Front Yard.
- R. **House Numbers:** Location of house numbers shall be as approved by the DRB and consistent throughout the Neighborhood. Owners or Builders shall install the house numbers only in the approved location.
- S. **Solar Collectors:** Solar collectors are not permitted.
- T. **Storm and Screen Doors:** Storm and screen doors are permitted with DRB approval, but shall not detract from or adversely alter the appearance of any entryway. Storm and screen doors are not permitted on the front door facing the street.
- U. **Trellis:** Any trellis shall harmonize and integrate with the architectural style, design and visual scale of the building to which it is attached. A free standing trellis is generally not permitted.

- V. **Wiring:** A basic integrated system is to be included in all homes. The basic integrated system and electronics to be positioned can be upgraded at Owner's choice and DRB approval. At a minimum, the system must include CAT 5e and RG6, with a minimum of 4 interior drops.
- W. **Sidewalks:** The Owner or Builder is responsible for construction and cost of front sidewalk in the right of way, per DRS specifications. Front walkways shall be 5 feet wide and placed in a manner that conforms with the sidewalk plan for the Neighborhood. See Drawing.
- X. **Mailboxes:** Mailboxes are to be white (post and box), similar in style to the original mailboxes installed in this neighborhood, and must be approved in advance by the DRB.
  - i. ***Recommended Landscaping:*** To avoid damage from lawn maintenance equipment, it is strongly recommended that a mulched, circular landscape bed that is 12"-18" in diameter be installed around the base of the mailbox.
- Y. **Street Lamps:** Street lamps are to be provided by the Developer. Installation of the street lamps in appropriate location is the responsibility of the Owner or Builder, per DRS specifications.
- Z. **Trash Cans and Storage Receptacles:** No trash cans or storage receptacles shall be kept outside, except on normal collection days.

### III. SITE DETAILS

- A. **Landscape Plan:** The Owner or Builder shall submit a complete Landscape Plan for the Lot to the DRB for review and approval, and shall submit additional Landscape Plans as updated or altered in the future. The plan shall be submitted in accordance with the Community DRS, and shall emphasize foundation plantings and screening of parking areas and of private outdoor living spaces. Design restraint shall be used in the space between the curb and within seven feet of the Primary Structure, in order to maintain a uniform street scene.
  - i. A plan depicting final contour and finishing of the mounds will be required for Lots 17, 18, 19, 20, 21, 22, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 77, 76, 75, and 74.
  - ii. ***Recommended Landscaping:*** To avoid damage from lawn maintenance equipment, it is strongly recommended that a mulched landscape bed that is at least 12" deep be installed in any areas where grass abuts the foundation of the Primary Structure.
- B. **Accessory Structures:** Except for required Accessory Structures (mailbox, street lamp), no other Accessory Structures shall be permitted on any Lot in Steeplechase. This prohibition includes all Play Equipment and Pools.
- C. **Fences:** Fences are not permitted on any Lot in Steeplechase.
- D. **Spas and Hot Tubs:** Outdoor spas or hot tubs of appropriate size and in appropriate locations may be permitted in Steeplechase, with landscape screening, subject to DRB approval.

- E. **Grass:** Sod is required to be installed in all portions of the yard, consisting of an approved type of grass, on Lots 17, 18, 19, 20, 21, 22, 37, 38, 39, 40, 41, 42, 43, 44, 74, 75, 76, and 77. All other Lots must have sod, consisting of an approved type of grass, installed on all portions of the yard to 20-feet in the back of the Primary Structure. Owner can choose sod or seed, of an approved type of grass, for any other areas. Removal of run-off and resulting mud deposits in Common Areas before grass can germinate will be the responsibility of the Steeplechase Neighborhood Society.

#### IV. APPROVED EXTERIOR COLORS AND MATERIALS

A. **Roof Materials and Colors:**

- i. *GAF Royal Sovereign:* Weathered Gray

B. **Brick:**

- i. *Glen-Gary:* Yorkville, Shelby  
ii. *General Shale:* Dark Pink Flash, Kings Mill

C. **Windows:** Capital Vinyl Series 8500 in white.

D. **Siding:**

- i. *Norandex Woodsman Select 4" Lap:* Sand, Silver, Wheat, Beige  
ii. *Centruion:* Kentucky Rubble and Gray Centurion Castle

E. **Trim:** G-24 Coil Stock Aluminum in white.

F. **Front Door:**

- i. *Sherwin Williams:* Wrought Iron/SW2105, Liberty Blue/SW2942, Black Hills/SW1189, Cordova/SW6027

G. **Lantern Post:**

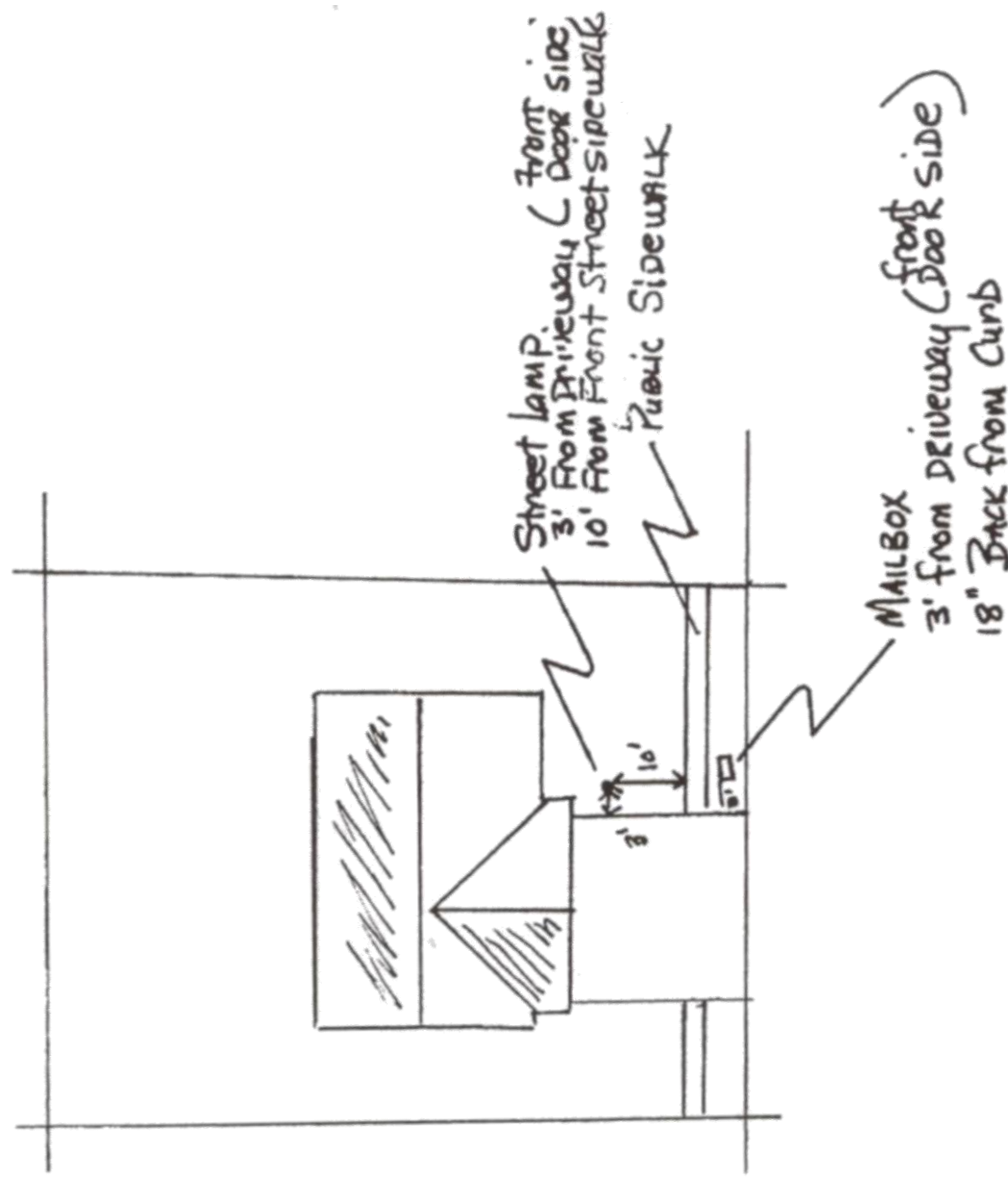
- i. *Kichler:* K9984OZ or K9504OZ

H. **Mailbox Post:**

- i. White or White with brass & copper flag

## V. STREET LIGHT AND MAILBOX LOCATION

- A. **Street Lamp:** Street lamp will be located three feet from the driveway (on same side of driveway as the front door), and ten feet back from the public sidewalk. See Drawing.
- B. **Mailbox:** Mailbox will be located 18-inches from the curb and 3 feet from the driveway (on same side of driveway as the front door). Height will be the standard required by the USPS. See Drawing.



## VI. SIDEWALK SPECIFICATIONS

